

CONDITION OF APPROVAL NOTE:

1. ALL HOUSES IN THIS DEVELOPMENT SHALL BE CONSTRUCTED WITH STONE DRIP EDGES, WHERE APPROPRIATE. DRIP EDGE UNDERDRAINS SHALL BE DIRECTED TO A STORMWATER PIPE OR DAYLIGHT IN AN AREA OUTSIDE THE CITY 100 FOOT WETLANDS BUFFER.

ASSUMPTIONS:

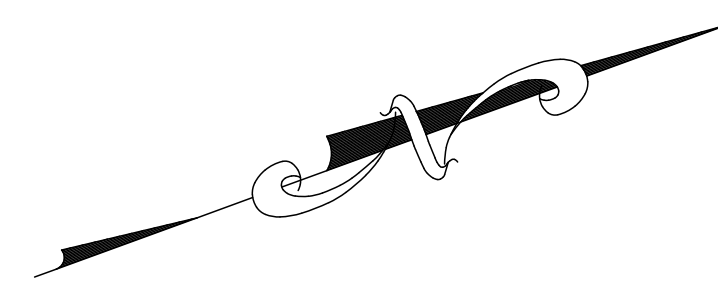
- PROVIDE 1% PITCH WITHIN THE GARAGE
- ASSUMED ALL RISER @ 7 5/8"
- 5" RISER FROM PORCH, DECK OR PATIO TO HOUSE FIRST FLOOR ELEVATION
- NUMBER OF EXTERIOR STEPS CAN BE ADJUSTED TO MEET DESIRED FINISH GRADE
- RETAINING WALL SHALL BE DESIGNED BY QUALIFIED PROFESSIONAL ENGINEER, IF 48" OR HIGHER
- ASSUMED VERTICAL HEIGHT (8.90' or 14 RISERS) FROM TOP OF BSMT. SLAB TO F.F.E. FOR LOTS 1-3; LOT 4 ASSUMED VERTICAL HEIGHT 9.58' OR 15 RISERS

GENERAL NOTES:

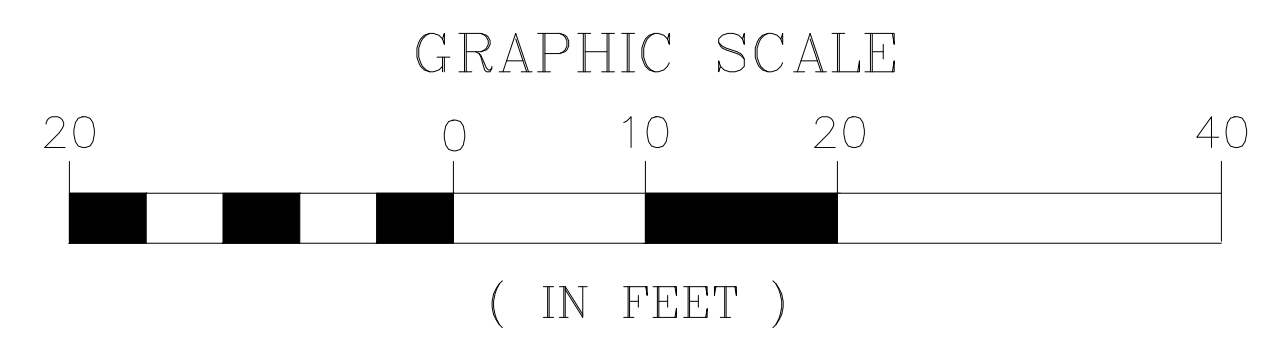
1. ALTUS RECOMMENDS THAT FILL UNDER BUILDING SLAB BE APPROVED BY STRUCTURAL ENGINEER.
2. GRADING AROUND INDIVIDUAL UNITS IS SUBJECT TO FIELD ADJUSTMENT FOR STEPPING FOUNDATIONS, DRIVEWAY REALIGNMENTS, WALKOUT BASEMENTS, ETC.
3. THE INTENT OF THE GRADING IS TO SHOW THE GENERAL DIRECTION OF DRAINAGE FLOW AROUND UNITS AND IS SUBJECT TO FIELD ADJUSTMENT DURING CONSTRUCTION.
4. BUILDING DIMENSIONS ARE APPROXIMATE BUILDING ENVELOPES. CONTRACTOR HAS THE OPTION TO ALTER THE BUILDING FOOTPRINT AT THE TIME OF CONSTRUCTION, MEETING THE INTENT OF THE PLANS & ZONING SETBACK REQUIREMENTS.
5. SEE FINAL APPROVAL PLAN SET FOR "WATSON'S LANDING RESIDENTIAL SUBDIVISION" BY ALTUS ENGINEERING, INC., DATED JUNE 4, 2021 FOR ALL OTHER ROADWAY, SITE DEVELOPMENT & UTILITY DESIGN INFORMATION.
6. NOTIFY ENGINEER OF ANY REVISIONS TO LOCATIONS OR ELEVATIONS OF STRUCTURES.
7. PROVIDE RECORD DRAWING INFORMATION OF FINAL BUILDING AND SERVICES UTILITY LOCATIONS.

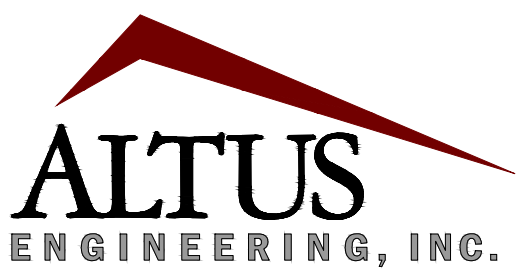
LEGEND:

FFE.	FIRST FLOOR ELEVATION
BSMT.	BASEMENT SLAB
C.S.	CURB STOP
---	PROPERTY LINE
---	BUILDING SETBACK LINE
— PW —	PROP. WATER SERVICE
— PS —	PROP. SEWER SERVICE
[Red Hatched Box]	NO GRADING OR DISTURBANCE PERMITTED WITHIN 100' WETLAND BUFFER FOR HOUSE CONSTRUCTION



DATE	REVISION
12/08/2021	REVISED LOT NUMBERS





133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

DATE: AUGUST 23, 2021
 SCALE: 1" = 20' (22"x34")
 DRAWING FILE: 5232.hse.layout.dwg

PROJECT:
 WATSON'S LANDING RESIDENTIAL SUBD.
 MAP 209 LOT 33
 1 CLARK DRIVE PORTSMOUTH, NH

TITLE:
 HOUSE LOTS 33-0 THRU 33-3 GRADING AND SITE PLAN

DRAWING NO.:
LP - 1

P5232