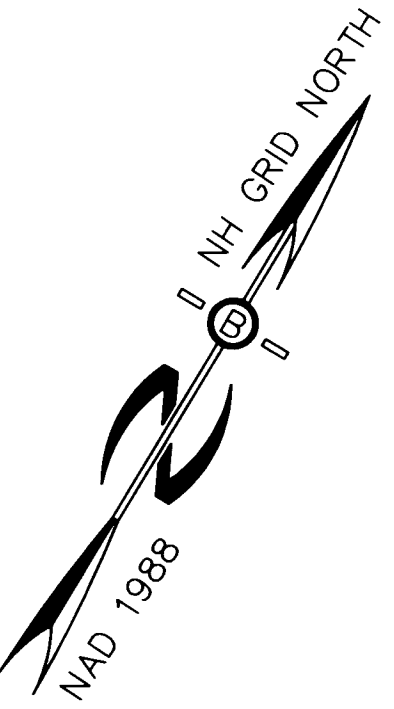


LOCATION MAP

BOUNDARY LINE TABLE

LINE	BEARING	DISTANCE
L1	S 24°00'09" E	34.09
L2	S 25°37'52" E	42.48
L3	S 27°21'00" E	38.05
L4	S 26°54'37" E	107.22
L5	S 26°06'53" E	44.52
L6	S 27°57'11" E	56.94
L7	S 24°13'55" E	12.54
L8	S 63°11'25" W	276.38
L9	S 05°31'43" W	112.08
L10	S 86°03'37" W	171.14
L11	S 84°44'57" W	41.29
L12	S 85°02'14" W	39.33
L13	S 86°07'58" W	55.90
L14	S 78°22'21" W	25.56
L15	N 89°38'24" W	63.62
L16	N 27°02'16" E	227.85
L17	N 28°17'10" E	124.52
L18	N 27°17'11" E	268.43
L19	N 66°43'51" E	34.23
L20	S 37°51'49" E	134.82
L21	S 25°48'00" E	125.00(TIE)
L22	S 37°51'49" E	12.61(TIE)
L23	N 86°17'39" E	48.22(TIE)
L24	N 63°11'25" E	72.08(TIE)



APPROVED DATE
RYE, NH PLANNING BOARD

THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF RYE ARE A PART OF THIS PLAN, AND APPROVAL OF THIS PLAN IS CONTINGENT UPON COMPLETION OF ALL REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY MODIFICATIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERETO.

10-4-1
INDEPENDENT WIRELESS ONE
PO BOX 8430
KANSAS CITY, MO 64114

- LEGEND**
- 5/8" REBAR
 - DRILL HOLE
 - CONC. BOUND
 - UTILITY POLE
 - TRAFFIC LIGHT POLE
 - FIRE HYDRANT
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - SINGLE POST SIGN
 - PROPOSED PAVERS
 - OVERHEAD ELEC. LINE
 - UNDERGROUND ELEC.
 - UG WATERLINE
 - FENCING
 - DRAINAGE LINE
 - STONEWALL LINES
 - BUILDING SETBACK LINES
 - ABUT. PROPERTY LINES
 - EXIST. PROPERTY LINES
 - LIMITED COMMON AREA

10-83
MA & J. SUNSHINE PROPERTIES, LLC
944 CALEF HIGHWAY
BARRINGTON, NH 03825
4938/933

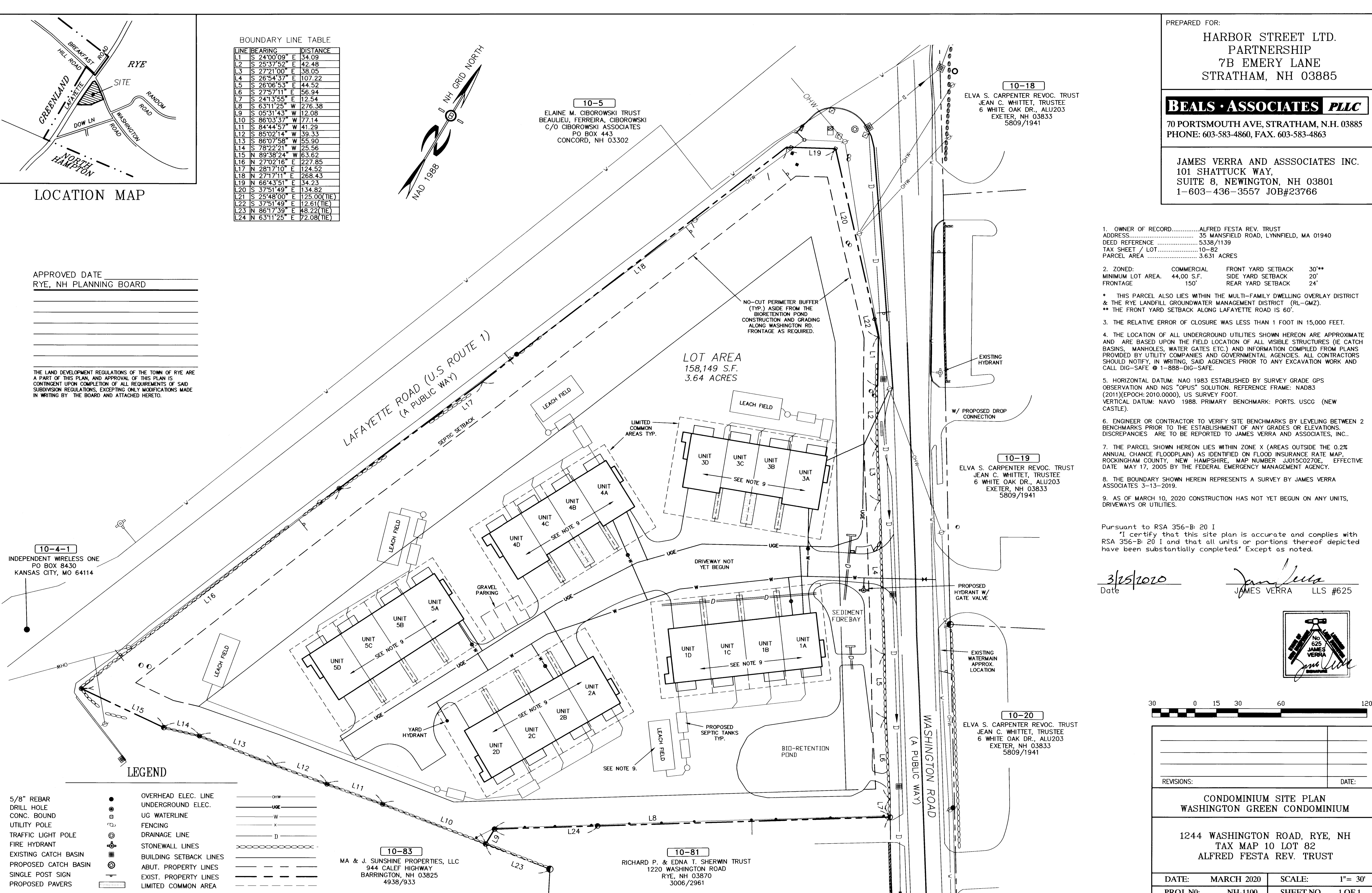
10-81
RICHARD P. & EDNA T. SHERWIN TRUST
1220 WASHINGTON ROAD
RYE, NH 03870
3006/2961

10-5
ELAINE M. CIBOROWSKI TRUST
BEAULIEU, FERREIRA, CIBOROWSKI
C/O CIBOROWSKI ASSOCIATES
PO BOX 443
CONCORD, NH 03302

10-18
ELVA S. CARPENTER REVOC. TRUST
JEAN C. WHITTET, TRUSTEE
6 WHITE OAK DR., ALU203
EXETER, NH 03833
5809/1941

10-19
ELVA S. CARPENTER REVOC. TRUST
JEAN C. WHITTET, TRUSTEE
6 WHITE OAK DR., ALU203
EXETER, NH 03833
5809/1941

10-20
ELVA S. CARPENTER REVOC. TRUST
JEAN C. WHITTET, TRUSTEE
6 WHITE OAK DR., ALU203
EXETER, NH 03833
5809/1941

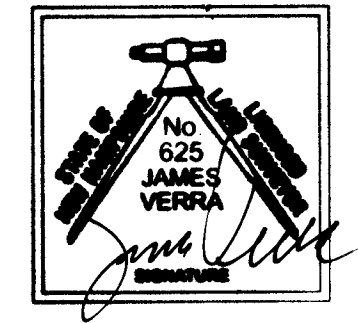


- OWNER OF RECORD.....ALFRED FESTA REV. TRUST
ADDRESS..... 35 MANSFIELD ROAD, LYNNFIELD, MA 01940
DEED REFERENCE 5338/1139
TAX SHEET / LOT.....10-82
PARCEL AREA 3.631 ACRES
- ZONED: COMMERCIAL FRONT YARD SETBACK 30**
MINIMUM LOT AREA 44,00 S.F. SIDE YARD SETBACK 20'
FRONTAGE 150' REAR YARD SETBACK 24'
- * THIS PARCEL ALSO LIES WITHIN THE MULTI-FAMILY DWELLING OVERLAY DISTRICT & THE RYE LANDFILL GROUNDWATER MANAGEMENT DISTRICT (RL-GMZ).
** THE FRONT YARD SETBACK ALONG LAFAYETTE ROAD IS 60'.
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: PORTS. USCG (NEW CASTLE).
- ENGINEER OR CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER J015C0270E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THE BOUNDARY SHOWN HEREIN REPRESENTS A SURVEY BY JAMES VERRA ASSOCIATES 3-13-2019.
- AS OF MARCH 10, 2020 CONSTRUCTION HAS NOT YET BEGUN ON ANY UNITS, DRIVEWAYS OR UTILITIES.

Pursuant to RSA 356-B: 20 I
I certify that this site plan is accurate and complies with RSA 356-B: 20 I and that all units or portions thereof depicted have been substantially completed. Except as noted.

3/25/2020
Date

JAMES VERRA LLS #625



REVISIONS:	DATE:
CONDOMINIUM SITE PLAN WASHINGTON GREEN CONDOMINIUM	
1244 WASHINGTON ROAD, RYE, NH TAX MAP 10 LOT 82 ALFRED FESTA REV. TRUST	
DATE: MARCH 2020	SCALE: 1"= 30'
PROJ. NO: NH-1100	SHEET NO. 1 OF 1